

May 6, 2025

BYTEK VW Expansion Project
1325 St. Laurent Blvd.
Ottawa, Ontario
Our Ref: 2301

Post Tender Addendum N° 4

GENERAL

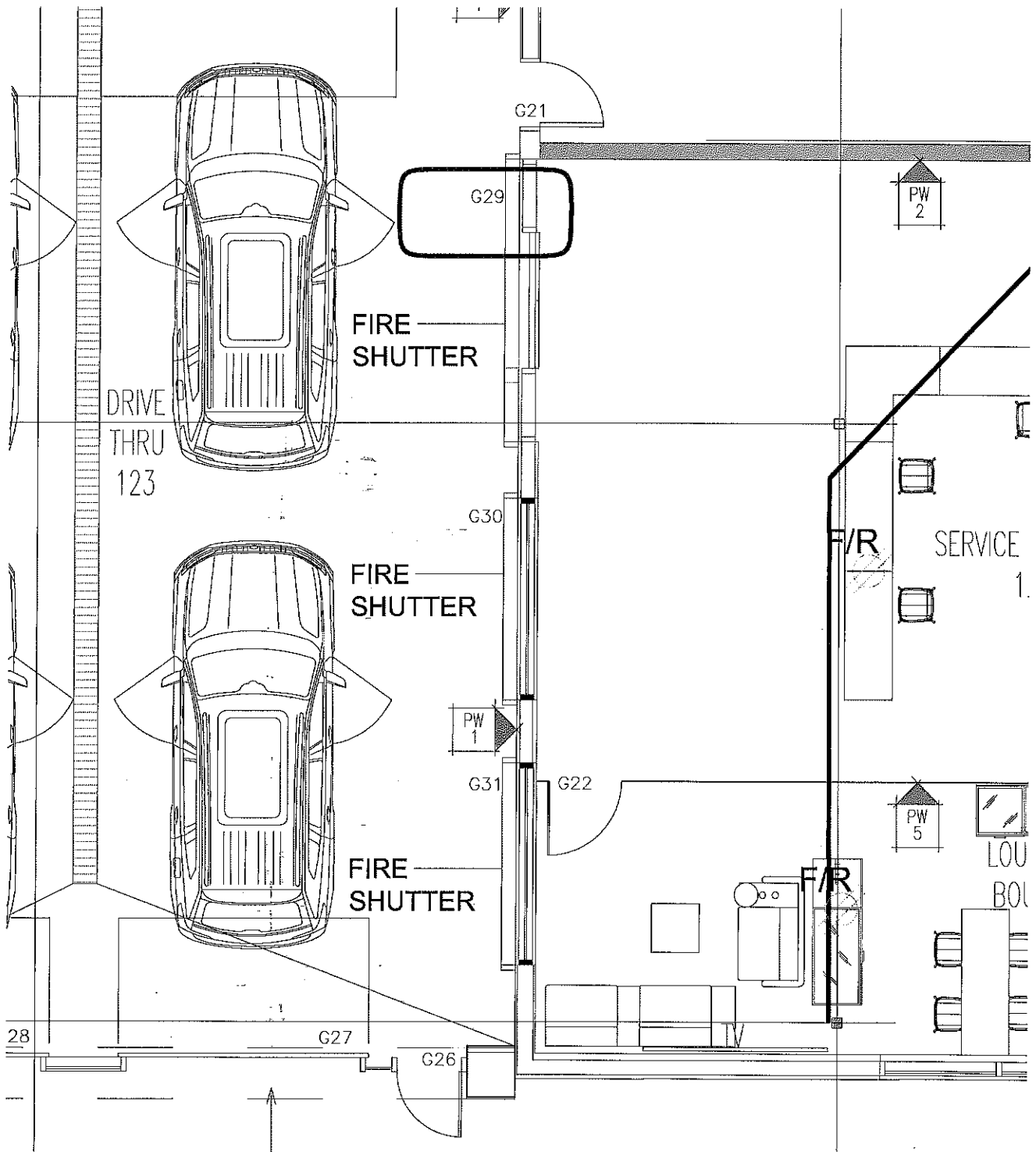
- 3.1 Specifications for hollow metal doors, pressed steel frames and wood doors provided.
- 3.2 Specifications for interior glass doors and partitions provided.
- 3.3 Full height vertical pre-fin metal flashing to be installed at all exposed back faces of new or rebuilt parapet.
- 3.4 Dimensions between grid lines B, C and D have been revised and/or coordinated between structural and architectural.
- 3.5 Washroom accessories to be Bobrick stainless steel, manual operation. Provide:
 - 3.5.1 Toilet paper dispenser.
 - 3.5.2 Combined towel and waste, semi-recessed.
- 3.6 Drawing A-002,
Clarification notes added indicating extent of curtainwall and glazing to be removed. Refer to ASK-5.
- 3.7 Reference drawing ASK-6,
Notes added indicating extent of demolition and removal of partitions and floor as required to install all new underground plumbing and floor in basement. Refer to ASK-6.
- 3.8 Reference drawing A-103, Roof Plan,
Provide new roofing and insulation system to all new roof.
Tie in all new parapets and roofing membrane as required to be.
Provide continuous waterproof roof membrane.
- 3.9 Cement faced rigid insulation panels to be attached to foundation wall with adhesive where visible.

- 3.10 Reference Drawing A-102, Ground Floor Plan and A-501, Door Schedule.
Door G29a added to floor plan and door schedule. Door to be door Type AL-5. Auto sliding aluminum door and frame.
- 3.11 Reference Drawing A-102 Grund Floor Plan.
Addition of 3 Building Cross Section Tags.
- 3.12 Reference Drawing A-312, Wall Sections.
50mm rigid insulation has been added to exterior face of perimeter walls and under slab 1.8m from wall.
- 3.13 Reference drawing A-321, Details.
Notes to follow.
- 3.14 Reference Drawing A-401, Stair Details.
Add Stair No. 8 Plan Detail.
- 3.15 Reference Drawings A-502, A-505 and A-506,
Have been updated and re-issued.
- 3.16 Reference Welcome Wall,
Construct Welcome Wall as 2 parallel, 152mm heavy gauge metal studs. Provide complete 15mm plywood backing with 15mm gypsum board on all exposed surfaces, painted coordinate with electrical and signage supplier.
- 3.17 Reference Drawing A-101 Basement Plan, Kitchen Millwork
Detail to follow.
- 3.18 Reference Specifications.

Gauge of metal siding to be 22 gauge.
Gauge of 2 Barts and Hat channels 18 gauge.
Gauge of flashings and trims 22 gauge.
- 3.19 Reference feature wall in reception.
- 3.20 Reference Drawing ASK A-332, Exterior Ramp and Stair Detail
All exterior handrails, guardrails, etc to be galvanized steel for paint finish.
- 3.21 Reference Drawing A-102, Ground Floor Plan,
Welcome Wall
Feature Wall
Coordinate construction of walls with furniture supplier, signage supplier and electrical sub-trade.
- 3.22 Reference Drawing A-100, Assemblies, Reissued

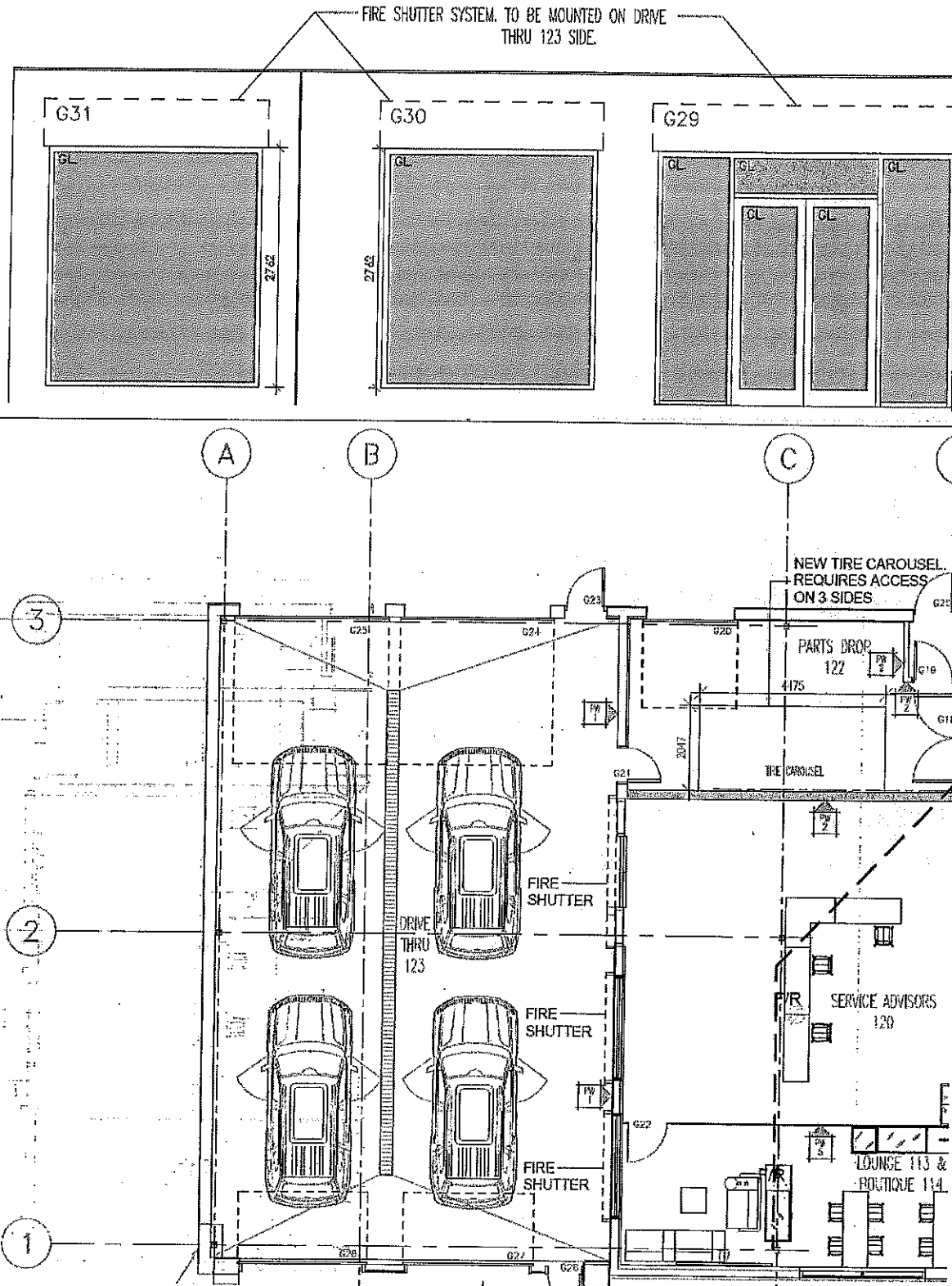
- 3.23 Ask-6 revised and re-issued
- 3.24 Reference Door No G29, Service Drive to Service Advisors
1 ½ HR FRR Shutter.
- 3.25 Reference Door No. G20 and G20a,
Clarify
- 3.26 Drawings A-503 RV1 and A-504 RV1, Reflected Ceiling Plans
Drawings reissued.
- Reference Drawing A-001, Site Plan
Drawings reissued.
- Reference Drawing A-002, Demolition Plan
- 3.27 All furniture supplied by others or Owner coordinate installation furniture with electrical and plumbing as required.
- 3.28 Roof curb. Details to follow.
- 3.29 Revised Drawing A-301-A-102 (match)
A-311
A-102
A-312
A321
A-401
A-502, A-505, A-506
A-503, A-504
- 3.30 Welcome Wall and Feature Wall. Details to follow.
- 3.31 Structural Rev 3 – A102
- 3.32 Structural Rev 3 -
- 3.33 All new plumbing work to be carried during Dealer business hours as much as possible.
All service downs to be coordinated with Owner to ensure Parts and Shop remain operational. All after hours work to be reviewed and coordinated with Owner to allow sufficient notice of shut down and alternate provisions.

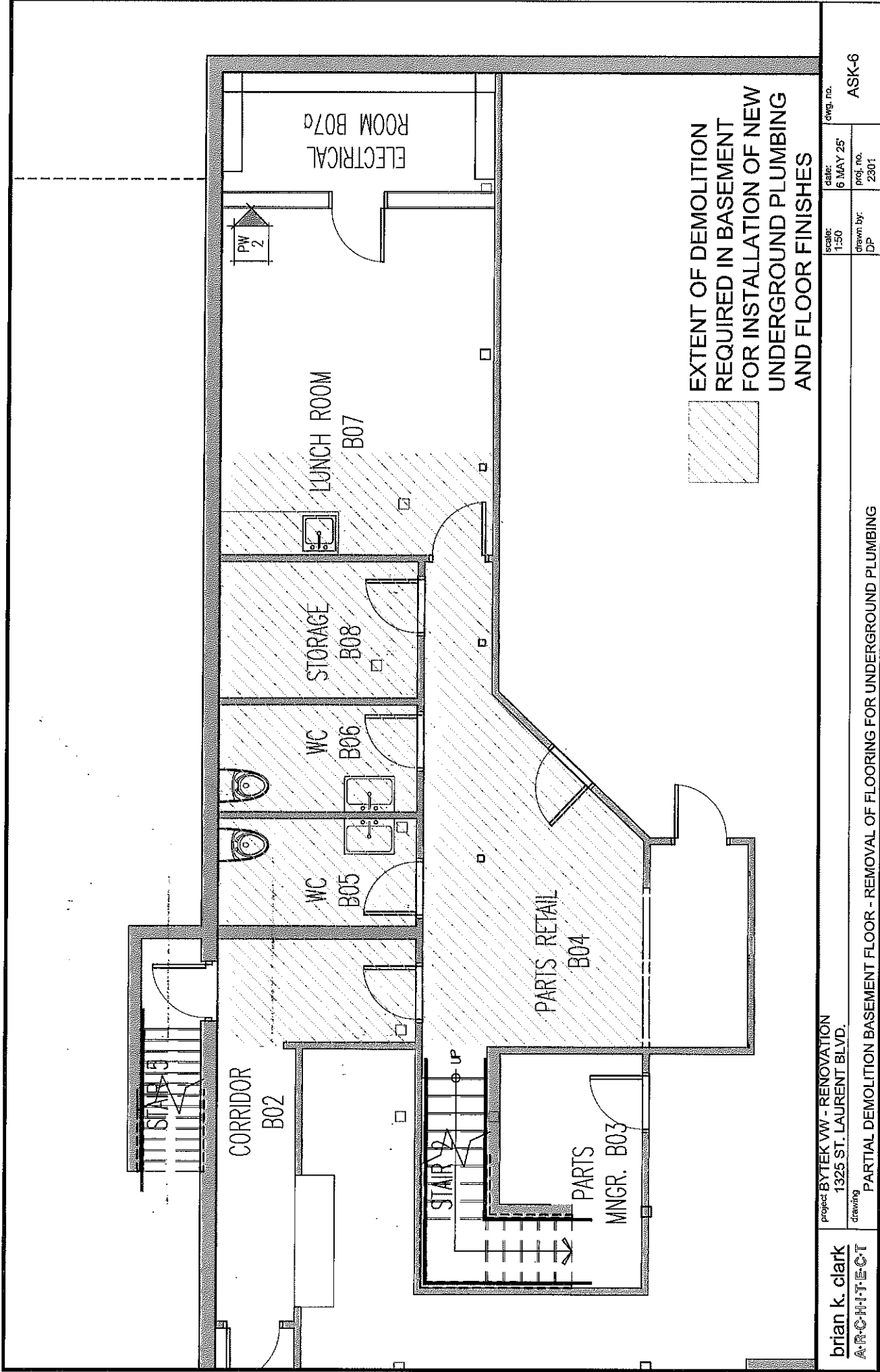
End of Post Tender Addendum



21. Provide 1.2m high FRP panels on 3 walls of the Janitor Room.

22. Fire shutter system to be mounted on Drive Thru side.





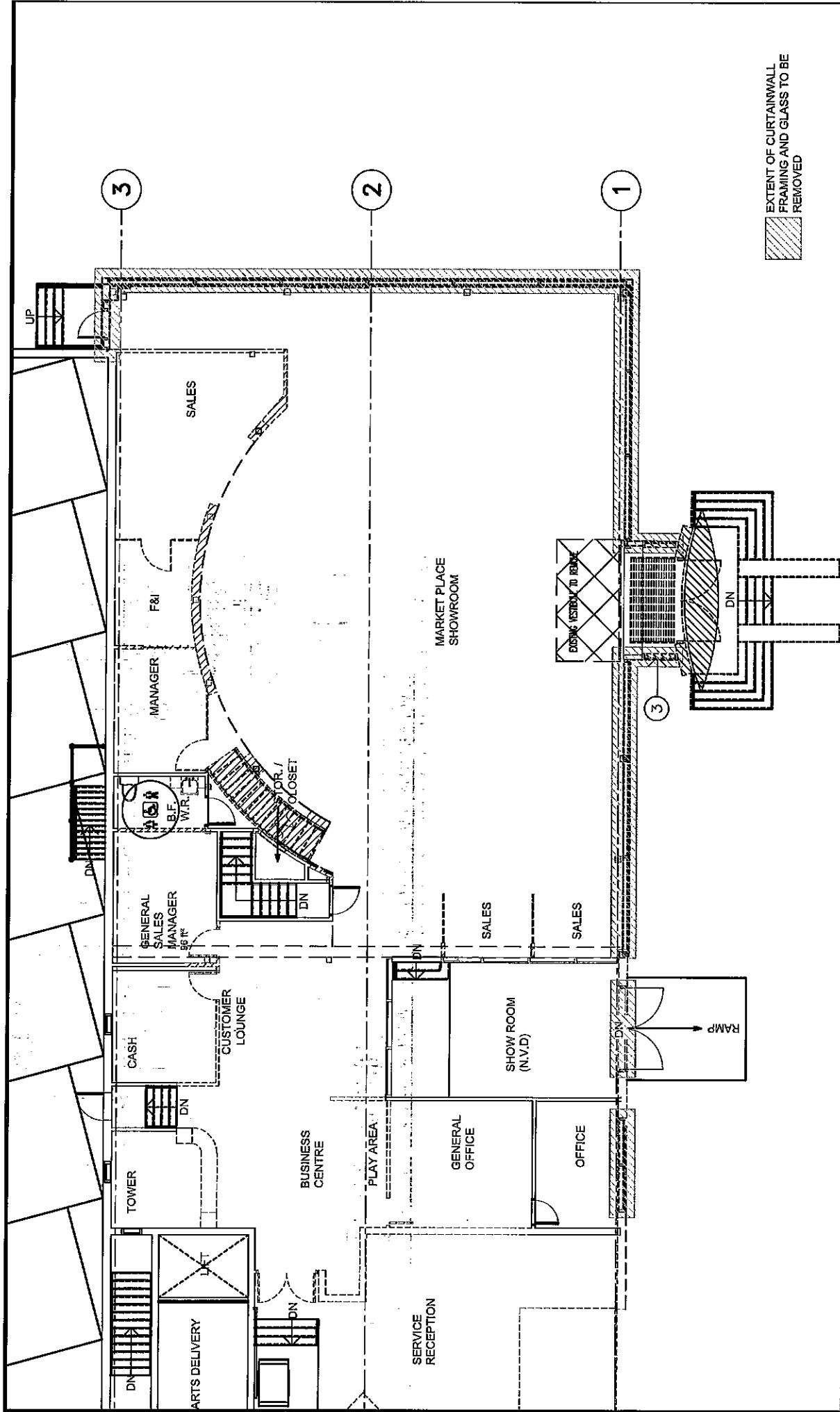
brian k. clark
ARCHITECT

project BYTEK VW - RENOVATION
1325 ST. LAURENT BLVD.
drawing

PARTIAL DEMOLITION BASEMENT FLOOR - REMOVAL OF FLOORING FOR UNDERGROUND PLUMBING

scale: 1:30
date: 6 MAY 25
proj. no. 2301
drawn by: DP

dwg. no. ASK-6



brian k. clark ARCHITECT	project BYTEK VW - RENOVATION 1325 ST. LAURENT BLVD.		scale: 1:100	date: 6 MAY 25	dwg. no.
	drawing		drawn by: DP	proj. no. 2301	ASK-5

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